

## WATERSTONE

### BUILDING GUIDELINES AND STANDARDS

January 1, 1993

---

Thank you for selecting a lot in Waterstone as your building site. In an effort to make the building process easier, this document summarizes some important information you may find helpful.

#### BUILDING PLAN APPROVAL:

An Architectural Review Board is established in the Declaration to review lot development plans for each home constructed in the Waterstone neighborhoods. Before a building permit can be obtained, each builder must submit at least two complete sets of floorplans, including the foundation plan, all four elevations, and a plot plan completed and stamped by a registered professional engineer. Building plans will be considered incomplete if not accompanied by a plot plan, and final approval will be withheld. Please see the attached plot plan checklist for a complete list of items that your engineer must include. We are happy to mail or fax a copy of this checklist to your engineer upon request.

Plans should be delivered to the Brenwick office at 9502 Angola Court; please allow three to four days for approval. Please read the conditions for approval written on your plans; you will be held responsible for making any requested changes.

#### BUILDING STANDARDS:

The members of the Architectural Review Board -- George Sweet, Jeff. Behlmer and Ursell Cox -- will pay particular attention to design balance, symmetry, and detailing. Natural materials are encouraged; vinyl and aluminum siding and aluminum porch columns are prohibited. T 1-11 is prohibited. In Windpointe and Bayhill, chimneys are to be of a masonry, stucco or synthetic stucco construction. No wood chases will be approved. In Stonewick, chases in front of the main ridge of the house must be masonry, stucco or synthetic stucco; chases behind the main ridge of the house must be masonry, stucco, synthetic stucco or wood.

Per the zoning standards and/or the Declaration, minimum standards are as follows:

	<u>STONEWICK</u>	<u>BAYHILL</u>	<u>WINDPOINTE</u>
Minimum lot width at building line:	80 feet	100 feet	120 feet
Minimum front yard:	35 feet	35 feet	40 feet
Minimum side yard:	5 feet	10 feet	10 feet
Aggregate of side yard:	15 feet	25 feet	30 feet
Minimum rear yard:	20 feet	20 feet	20 feet
Maximum lot coverage:	35%	35%	35%
Maximum height <sup>1</sup> :	25 feet	25 feet	25 feet
Minimum size of residence in finished square feet			
One-story structure:	1600 sq. ft.	2000 sq. ft.	2500 sq. ft.
Higher structure			
--total:	1800 sq. ft.	2400 sq. ft.	3000 sq. ft.
--ground floor:	1200 sq. ft.	1400 sq. ft.	1600 sq. ft.
--upper floor:	400 sq. ft.	600 sq. ft.	800 sq. ft.

**PRELIMINARY APPROVALS:**

If you have preliminary house plans and would appreciate knowing whether they would be approved for Waterstone, please send us a set of the plans and George Sweet will review them for you. The Architectural Review process is designed to protect your neighborhood and is for your benefit as well as ours; please let us know if we can assist you with any questions or concerns.

---

<sup>1</sup>Building height is defined in the Carmel/Clay Township Zoning Ordinance as "The vertical distance from the lot ground level to the highest point of the roof for a flat roof; to the deck line of the mansard roof; and to the mean height between eaves and ridges for gable, hip and gambrel roofs."

EXTERIOR COLORS AND MATERIALS:

Exterior colors and materials can be approved at a later date, but in all cases those items must be approved before masonry work, painting and/or roofing begin. For your convenience, an exterior colors and materials submittal sheet has been attached. Please attach paint or stain color chips and pictures of selected brick and roofing materials.

LANDSCAPING PLANS:

A landscaping plan must be submitted for every lot. Each landscaping plan will be reviewed by landscape design consultants who will recommend to the Architectural Review Board whether such plan should be approved, approved subject to conditions or disapproved. Plans are to be submitted within sixty (60) days after the start of the foundation. The Declaration requires that landscaping be installed within thirty (30) days following substantial completion of the residence. Minimum amounts to be spent on plant materials for the front and side yard only will be specified on your architectural plans when they given approval. The current minimum plant expenditure amounts (not including intallation, labor, or seeding or sodding of the lawn) in Waterstone are: Stonewick -- \$2500.00; Bayhill -- \$3500.00; Windpointe -- \$4500.00.

Ten (10) days are required to review landscaping plans. Sizes and names of all plant material must be specified. Please make sure your landscaping plans are approved before you install landscaping. The Declaration provides for enforcement of these regulations.

Landscaping plans must include trees from two categories. One (1) shade tree and two (2) flowering trees from the following list must be selected and placed on the property so that they are visible from the street:

SHADE TREES

Red Maple (and varieties)  
Norway Maple (and varieties)  
Red Oak  
Marshall Seedless Ash  
Summit Ash (and varieties)  
Linden

FLOWERING TREES

Crabapple (and varieties)  
Hawthorne (and varieties)  
Pear (and varieties)  
Redbud  
Dogwood (and varieties)  
Magnolia

The trees must be of at least a two (2) inch caliper.

**SIDEWALKS:**

Sidewalks are required in front of all homes in the Waterstone neighborhoods. These must be installed by the builder within thirty days of substantial completion of the home.

As of this printing, Carmel is preparing to pass new sidewalk guidelines. It is recommended that you check with the Department of Community Development (571-2444) to verify standards prior to sidewalk installation.

The proposed guidelines the City has provided are as follows:

Concrete sidewalks and driveway aprons shall be constructed as shown on approved plans and in conformance with Figures 10-14 through 10-18. Concrete quality and construction requirements shall conform to those for Rigid Pavement. Wheel-chair curb ramps, meeting the requirements of the ADA 1990, shall be included as required.

Concrete shall be deposited on dampened, compacted subgrade. Sidewalks and aprons shall be jointed by tooling or sawing to control cracking, in accordance with the approved construction plans and Figures 10-14 through 10-18. The depth of contraction joints shall be one-fourth (1/4) the thickness of the slabs. Joints shall be spaced so that the length-to-width ratio of the panels does not exceed 1.25. Sidewalks shall be separated from curbs and concrete driveways by full-depth isolation joints, one-quarter inch (1/4") thick. Surfaces shall be textured with broomed or wood float finishes. Curing to protect the concrete from loss of moisture and extreme temperatures shall begin immediately after texturing and the loss of water sheen. Edges shall be cured as soon as forms are removed. Sidewalks and aprons under construction shall be protected from rain and traffic.

**LOT MAINTENANCE DURING CONSTRUCTION:**

Each builder and/or lot owner is responsible for maintaining his/her site in a clean and orderly manner. Lots should be kept clean and mowed. Do not dump trash on other lots within Waterstone. An on-site trash dumpster is recommended.

Please also be conscious of erosion control measures. It is extremely helpful to have straw bales placed along the curbs to prevent mud from flowing onto the street and into the storm sewers.

A new re-usable product called silt fencing is now available for the same purpose. Please call us if you would like more information.

Please remember that the Waterstone contracts contain a set of Development Standards to which you must adhere. These include:

- a) When the basement and/or foundation of the residence is constructed, stone shall be installed over the path of the driveway as shown on the approved building plans, which stone shall be level with the curb at the lot line to avoid curb break-up.
- b) The surface and sub-surface drainage system shall not be altered in any way from the conditions specified in the development plan for the subdivision and in the approved building plans for the lot.
- c) All trash generated on the lot shall be hauled away from the subdivision on a regular (not less than weekly) basis and the construction site shall be kept neat and orderly at all times.
- d) Construction on the lot shall be undertaken in such a manner as to preclude debris entering or blocking the storm sewer inlets.
- e) Water service cuts shall not undermine the curbs or alter the sub-surface drainage system. Any excavated area which adjoins the curb will be backfilled with #53 stone to within 10 inches of the top of curb.
- f) The lot shall be seeded and/or sodded immediately following the final grading of the lot in order to avoid erosion on the lot. After rough grading and before final grading, straw bale dams and/or silt fence will be used to control erosion.

Vehicles shall not be driven across other lots; trash shall not be deposited on adjoining lots. Mud tracked onto the streets shall be scraped off in a timely manner. Whenever possible, vehicles should be parked on one side of the street to insure that traffic can flow through the area smoothly.

The Lot Owner and the Builder are responsible for ensuring that these standards are met. If Brenwick Development Company, Inc. is forced to take corrective action, you will be billed.

**OTHER QUESTIONS OR CONCERNS:**

Please remember that we are here to assist you, and feel free to call us with any questions. You can reach us at 574-3400; if we are unavailable, please leave a message and we will return your call as soon as possible. Thank you for selecting Waterstone!

**MARKETING STAFF:**

<b>Marketing</b>	<b>Ann Parker</b>	<b>voice mail: 574-3923 ext 111</b>
<b>Sales</b>	<b>Sandra Bunny</b>	<b>voice mail: 574-3923 ext 102</b>
	<b>Margie Wheeler</b>	<b>voice mail: 574-3923 ext 110</b>
	<b>Donna Park</b>	<b>voice mail: 574-3923 ext 101</b>

**DEVELOPMENT SUPERVISOR: Ursell Cox**      **voice mail: 574-3923 ext 104**

**Plan approval**      **Jeff Behlmer**      **voice mail: 574-3923 ext 119**

### PLOT PLAN CHECK LIST

1. Proposed house shown on plan.
2. Set back dimensions from front property line, side lines and rear line.
3. Driveway: location, size, type of material and existing and proposed elevations.
4. All existing improvements: public street, storm sewer, sanitary sewer, water mains, sub-surface drain hook-up, etc...
5. Proposed improvements: walks (public and private), patios, fences, pools, etc...
6. Proposed hook-ups to : sanitary, water and sump pump.
7. Proposed and existing grades: at corners of house, lot corners, side lines and within 20' of house.
8. Proposed floor elevations for 1st floor, basement and garage.
9. All easements and set back lines as shown in recorded plat.
10. All bearings and dimensions as shown on recorded plat.
11. Flood protection grade if it applies.
12. Erosion control notes.
13. If water service is on the other side of street, a statement that the area of tap will be restored to original condition.

EXTERIOR COLORS AND MATERIALS SHEET

Project \_\_\_\_\_

Lot No. \_\_\_\_\_ Builder/Owner \_\_\_\_\_

Brick or Stone \_\_\_\_\_

Shingle \_\_\_\_\_

Paint or Stain Color \_\_\_\_\_

Trim \_\_\_\_\_

Submitted by: \_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_ Approved

\_\_\_\_\_ Disapproved

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_ Date



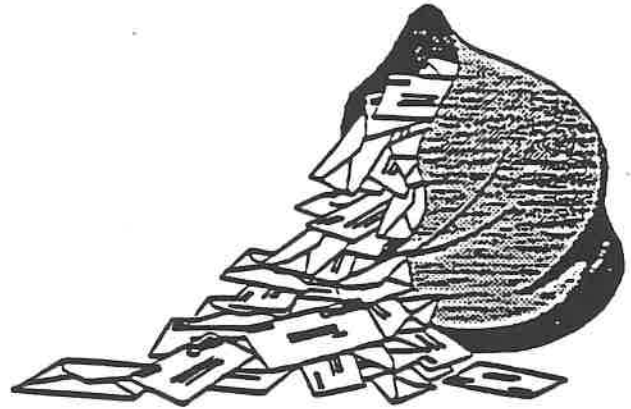
# MEMORANDUM

**TO:** Waterstone Builders and Lot Owners

**FROM:** Brenwick Development Company, Inc.

**DATE:** June 10, 1993

**RE:** Mailboxes



The Declarations of Covenants and Restrictions for Bayhill, Windpointe and Stonewick specify that:

All mailboxes installed upon Lots shall be uniform and shall be of a type, color and manufacture approved by the Architectural Review Board. Such mailboxes shall be installed upon posts approved as to type, size and location by the Architectural Review Board.

The Waterstone Architectural Review Board has selected mailboxes manufactured by Address Art. The mailboxes for Bayhill, Stonewick and Windpointe are of similar design and are all painted Waterstone Gray, but each neighborhood will have its own color for the address. The lettering for Windpointe is dove gray, Bayhill has beige lettering, and Stonewick's lettering is sandstone. Each mailbox is priced at \$95.95. Orders should be placed at least two weeks in advance with:

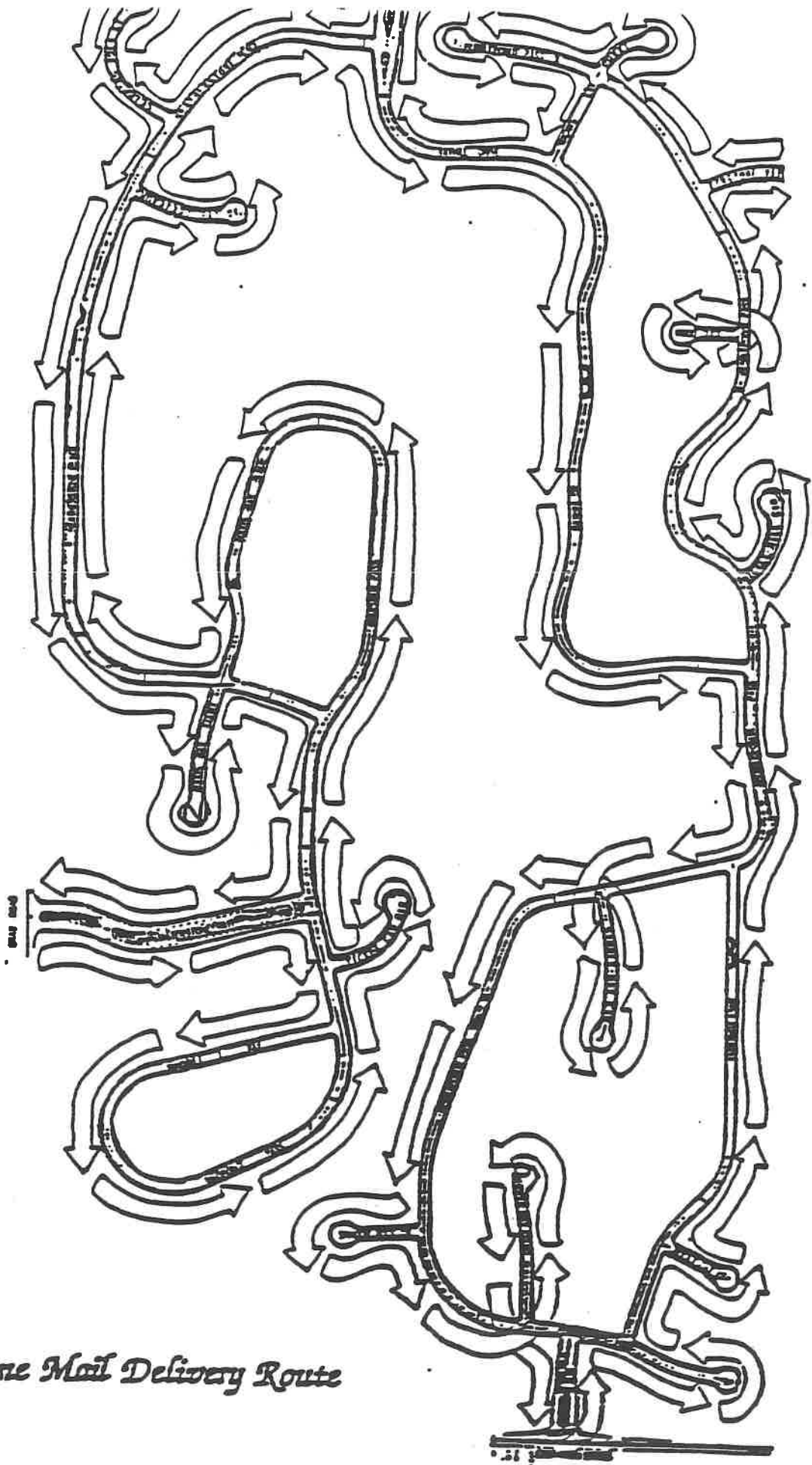
**Jeanne Carmody**  
**Address Art**  
**254-1508**

Posts must be of uniform type and size. Specifically, posts must be made from 4" X 4" rough cedar posts, 81 inches in length with a 27 inch crossbar and must be painted to match the mailbox. You may purchase an approved unpainted post at a cost of \$30.00, or have your mailbox installed on an approved painted post at a total cost of \$60.00. To do so, please call:

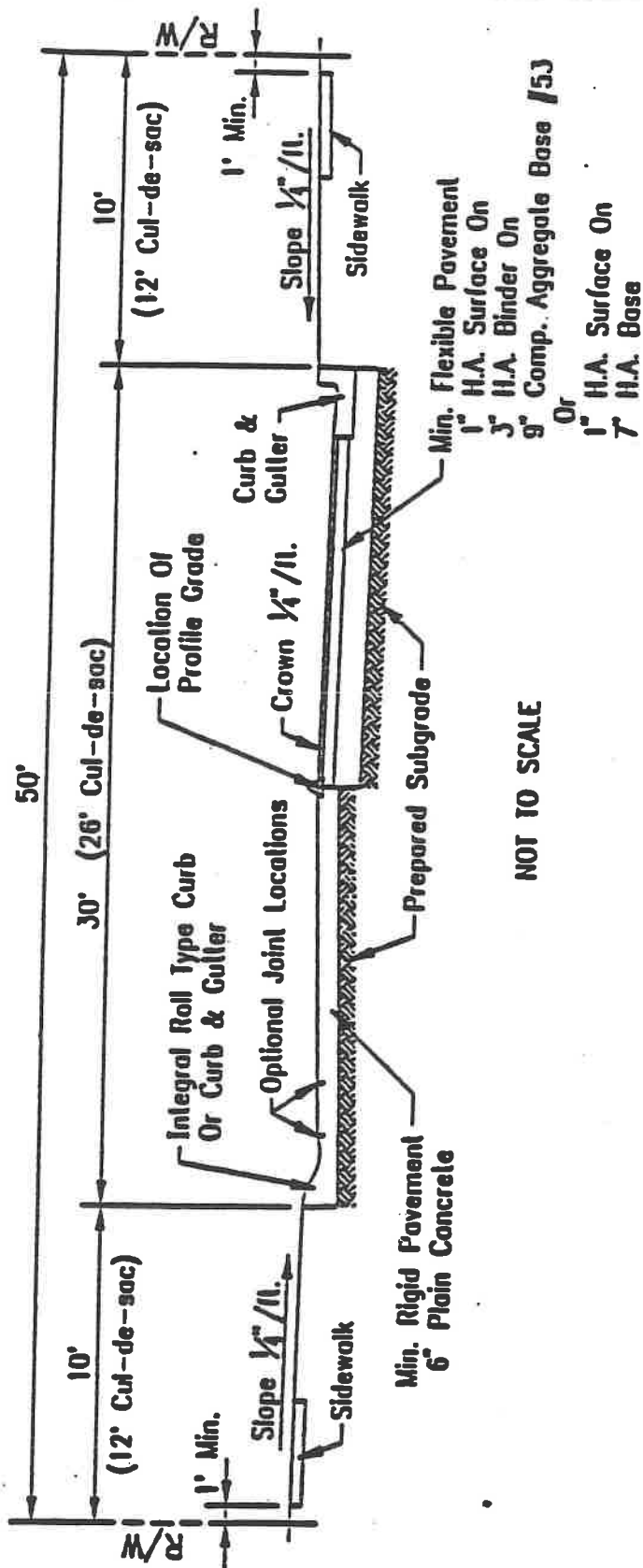
**Bob Clayton**  
**253-0471**

The order for installation should be placed at the same time the mailbox is ordered. Address Art will deliver mailboxes to the new home site or to Mr. Clayton for no charge.

The Carmel Postmaster decides where mailboxes may be located. Attached is a diagram indicating where the posts can be installed. Please note that some streets can have mailboxes installed on one side only. It is usually preferable on these streets to group two to three mailboxes together, please be sensitive to the aesthetics of the lots where mailboxes must be placed. Properly installed mailboxes will measure 42 to 48 inches from the bottom of the box to the adjacent road surface, and should be placed so that they can be easily opened from a mail delivery vehicle. Contact the Carmel Postmaster if you have more detailed questions.



*Waterstone Mail Delivery Route*



NOT TO SCALE

TYPICAL SECTION - LOCAL STREET

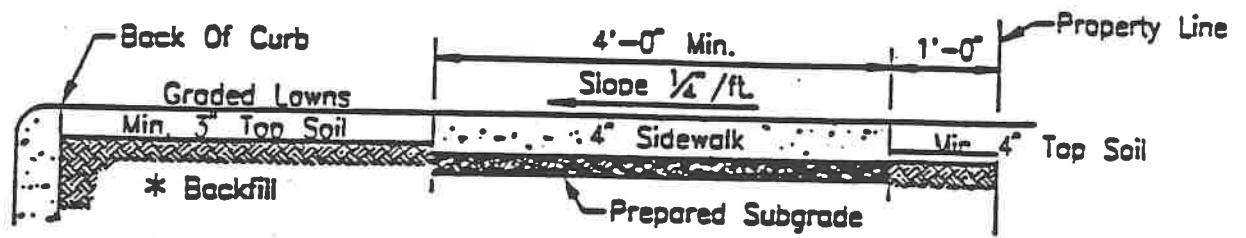
1. THE CURB AND GUTTER SHALL BE AS SHOWN ON THE CURB AND GUTTER STANDARD SHEETS.
2. THE LOCATION OF THE PROFILE GRADE SHALL BE INDICATED ON THE TYPICAL SECTION FOR EACH STREET SECTION USED IN A SET OF CONSTRUCTION PLANS.
3. THE SIDEWALK SHALL BE LOCATED IN ACCORDANCE WITH THE SIDEWALK STANDARD SHEETS.

CITY OF CARMEL STANDARDS

TYPICAL SECTION - LOCAL STREET

REVISED \_\_\_\_\_

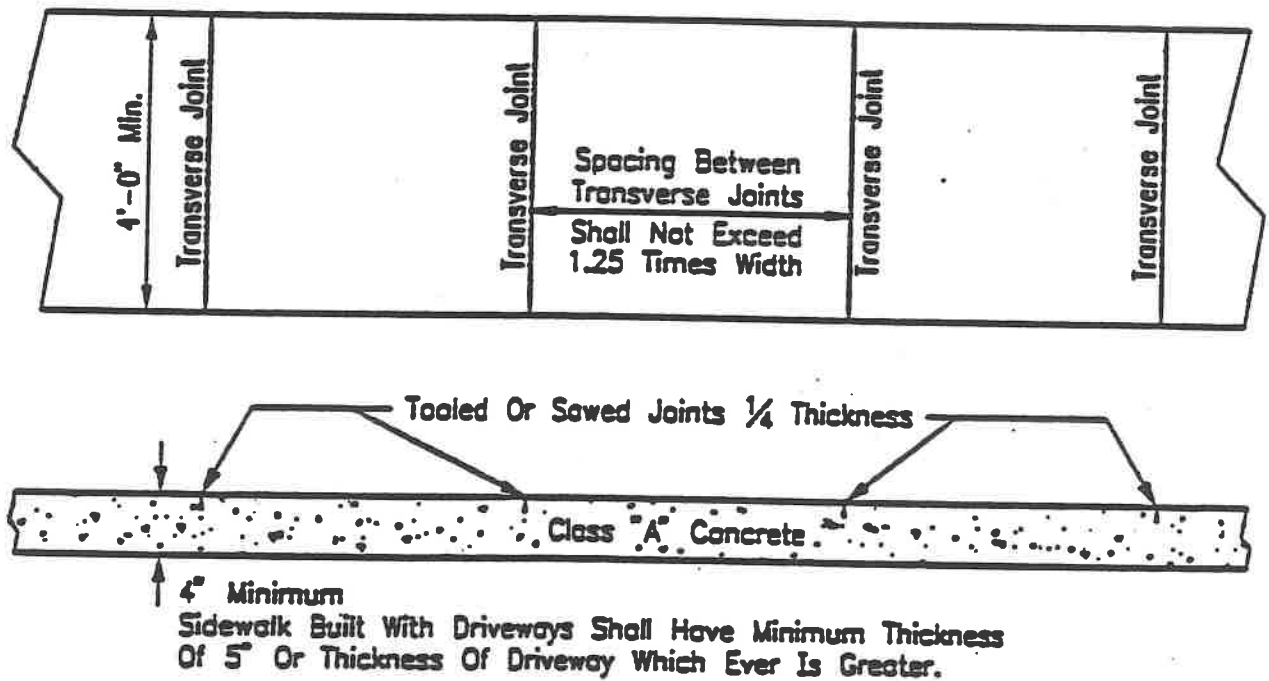
FIGURE  
10-1



TYPICAL SIDEWALK SECTION  
NOT TO SCALE

\* THE SPACE BEHIND THE CURB SHALL BE FILLED WITH SUITABLE MATERIAL TO THE REQUIRED ELEVATION AND COMPACTED IN LAYERS NOT TO EXCEED 6" IN DEPTH.

SUBGRADE OR BASE UNDER ALL CURBS, SIDEWALKS, AND DRIVES SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 207.02 OF THE STANDARD SPECIFICATIONS.



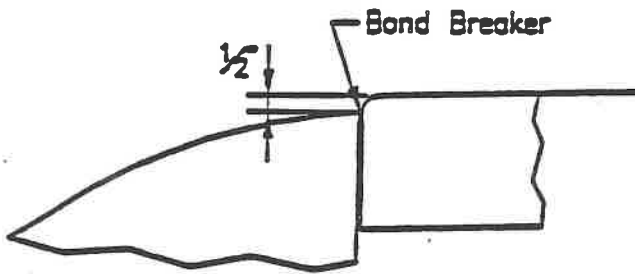
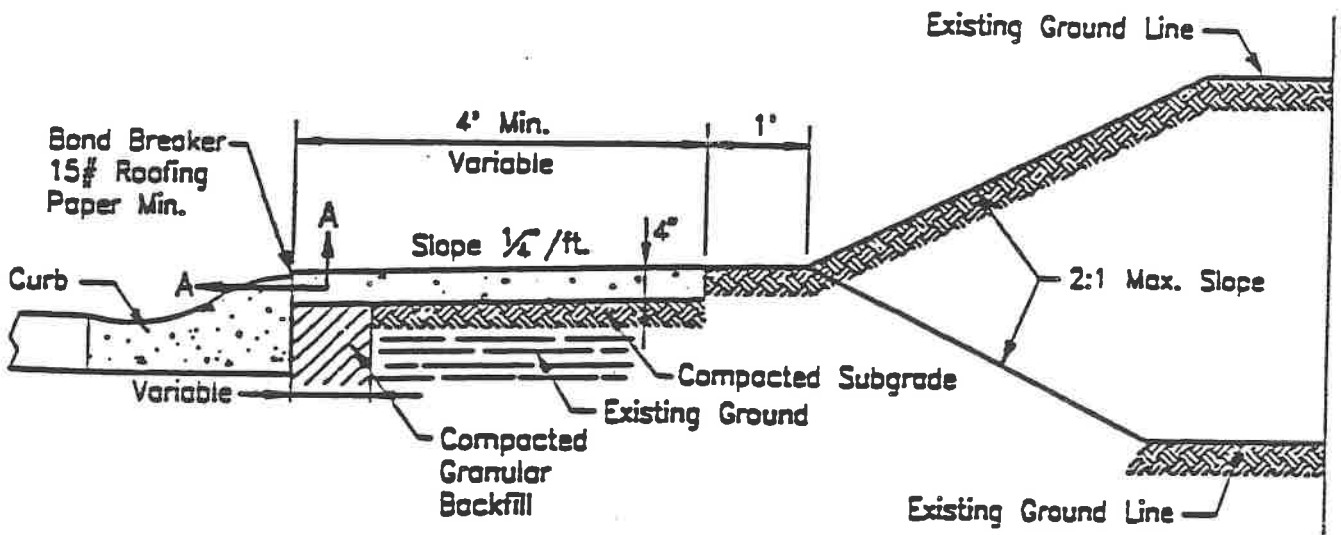
CONCRETE SIDEWALK  
NOT TO SCALE

CITY OF CARMEL STANDARDS

SIDEWALK DETAILS

REVISED \_\_\_\_\_

FIGURE  
10-14



**DETAIL A-A**  
Scale: 2" = 1'-0"

NOTE: SIDEWALKS BUILT WITH DRIVEWAYS SHALL HAVE MINIMUM THICKNESS OF 5" OR THICKNESS OF DRIVEWAY, WHICH EVER IS GREATER.

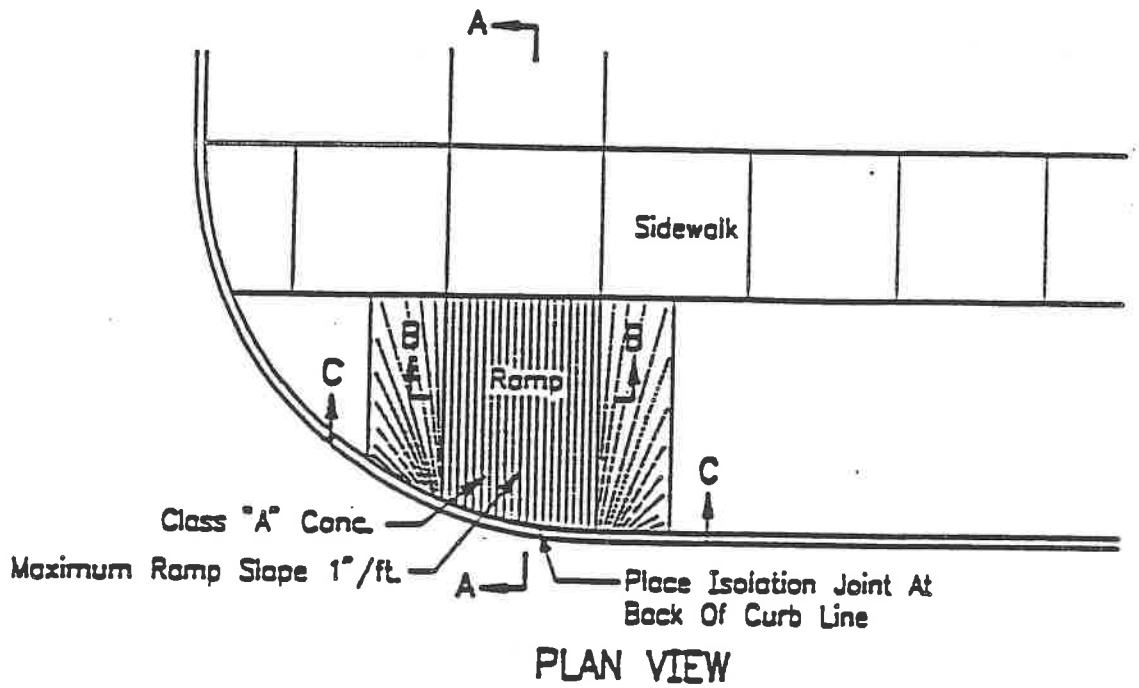
Scale: 1/2" = 1'-0"

**CITY OF CARMEL STANDARDS**

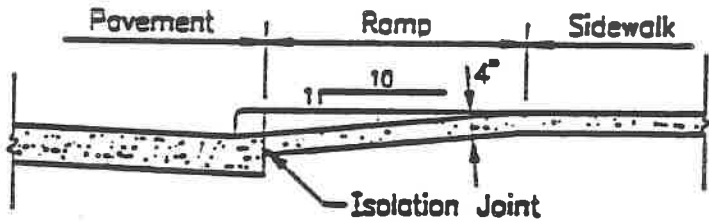
**SIDEWALK NEXT TO CURB**

REVISED \_\_\_\_\_

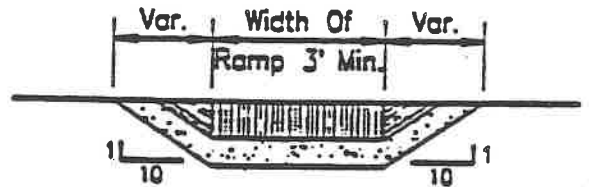
**FIGURE  
10-15**



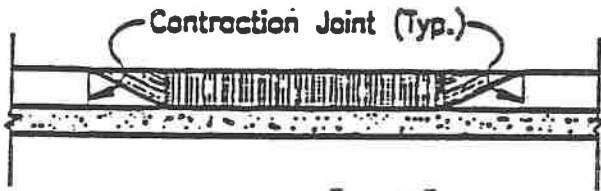
PLAN VIEW



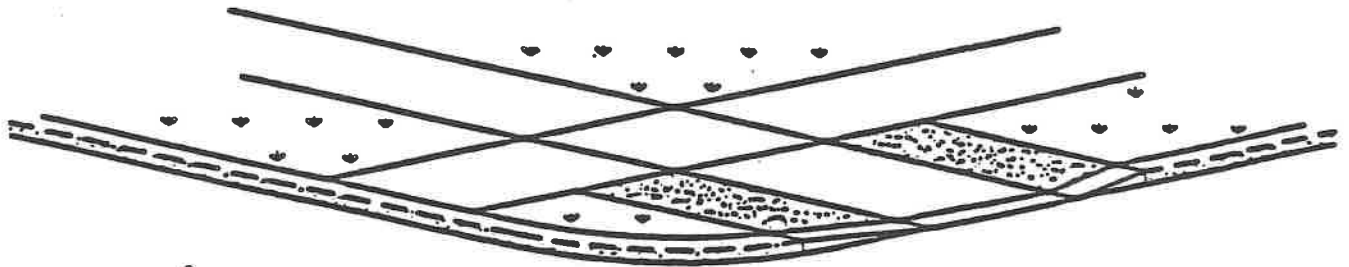
Section "A-A"



Section "B-B"



Section "C-C"



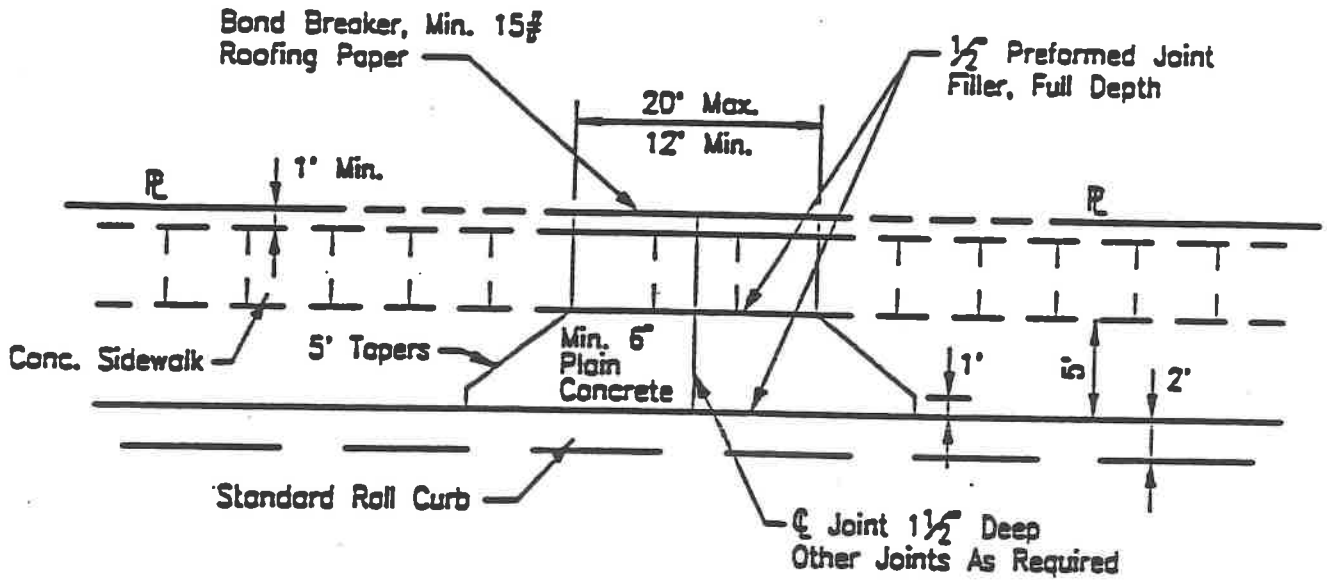
TYPE I

CITY OF CARMEL STANDARDS

CURB RAMP FOR HANDICAPPED

REVISED \_\_\_\_\_

FIGURE  
10-16



RESIDENTIAL DRIVE WITH ROLLED  
CURB AND GUTTER WITH SIDEWALK

GENERAL NOTES:

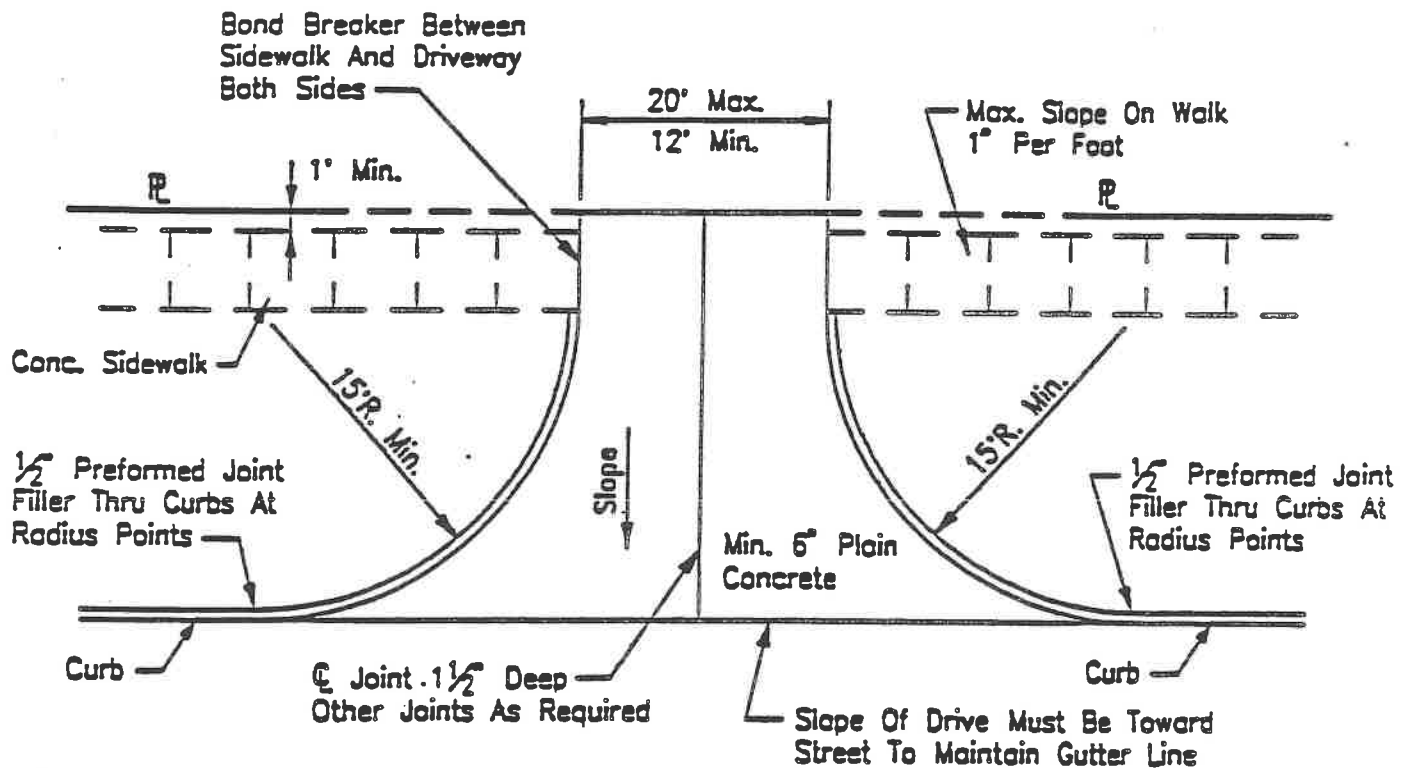
1. SUBGRADE UNDER ALL CURBS, SIDEWALKS AND DRIVES SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 207.02 OF THE STANDARD SPECIFICATIONS.
2. SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROPRIATE STANDARD AND SHALL BE CONTINUOUS ACROSS THE DRIVEWAY.

CITY OF CARMEL STANDARDS

RESIDENTIAL DRIVEWAYS

REVISED \_\_\_\_\_

FIGURE  
10-17



**PRIVATE DRIVE WITH CURBS**  
(Integral, Combined, Monolithic Or Straight Curbs)

**GENERAL NOTES:**

1. SUBGRADE UNDER ALL CURBS, SIDEWALKS AND DRIVES SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 207.02 OF THE STANDARD SPECIFICATIONS.
2. SIDEWALKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROPRIATE STANDARD AND SHALL BE CONTINUOUS ACROSS THE DRIVEWAY.

**CITY OF CARMEL STANDARDS**

**RESIDENTIAL DRIVEWAYS**

REVISED \_\_\_\_\_

**FIGURE  
10-18**



**WATERSTONE**  
**ARCHITECTURAL REVIEW BOARD**  
**SUPPLEMENTAL REGISTER OF REGULATIONS**  
**FOR BROOKFIELD**

**MAY 4, 1995**

**BROOKFIELD BUILDING PLAN APPROVAL:**

An Architectural Review Board is established in the Declaration to review lot development plans, landscaping and other improvements for each home constructed in the Waterstone neighborhoods. In Brookfield, all plans must have Architectural Review Board approval prior to construction.

Homes with the same elevation cannot be built next to each other. Plans will not be approved if the same elevation is already approved on a lot on either side of the proposed home or across the street from the proposed home.

**EXTERIOR COLORS AND MATERIALS:**

Exterior colors and materials must be approved before masonry work, painting and/or roofing begin. Natural and earth tones are encouraged. Homes with the same elevations and colors must be spaced with at least two lots between the homes; colors for the home will not be approved if a home with the same elevation and colors is already approved across the street or on one of the five (5) lots closest to the lot of the proposed home.

**BUILDING STANDARDS:**

The members of the Architectural Review Board will pay particular attention to design balance, symmetry, and detailing. Natural materials are encouraged; aluminum siding and aluminum porch columns are prohibited. T 1-11 is prohibited. Vinyl siding shall be acceptable.

Per zoning standards and/or the Declaration, minimum standards are as follows:

Minimum lot width at building line:	80 feet
Minimum front yard:	35 feet
Minimum side yard:	5 feet
Minimum rear yard:	20 feet
Minimum size of residence in finished square feet:	2,000 sq. ft.

**SIDEWALKS:**

Sidewalks are required in front of all homes in the Brookfield neighborhood. These must be installed by the builder within thirty days of substantial completion of the home in compliance with current City of Carmel standards.

**LANDSCAPING PLANS:**

Landscaping standards are strict throughout Waterstone. The Declaration requires that landscaping be installed within thirty (30) days following substantial completion of the residence. Minimum standards apply to installation in the front yard only. Minimum landscaping standards for Brookfield are as follows:

- Twenty-five bushes with a minimum 12" diameter
- One shade tree
- Two flowering trees
- Sodded front yard

Trees must be selected from the following lists and must be at least a two (2) inch caliper:

**SHADE TREES**

- Red Maple (and varieties)
- Norway Maple (and varieties)
- Red Oak
- Marshall Seedless Ash
- Summit Ash (and varieties)
- Linden

**FLOWERING TREES**

- Crabapple (and varieties)
- Hawthorne (and varieties)
- Pear (and varieties)
- Redbud
- Dogwood (and varieties)
- Magnolia

## LOT MAINTENANCE DURING CONSTRUCTION:

Builders in Brookfield are responsible for each of the following measures:

Each builder is responsible for maintaining his/her site in a clean and orderly manner. Lots should be kept clean and mowed. Trash shall not be deposited on other lots within Brookfield. An on-site trash dumpster is recommended.

Please be conscious of erosion control measures. It is extremely helpful to have straw bales placed along the curbs to prevent mud from flowing onto the street and into the storm sewers.

When the basement and/or foundation of the residence is constructed, stone shall be installed over the path of the driveway as shown on the approved building plans, and shall be level with the curb at the lot line to avoid curb break-up.

The surface and sub-surface drainage system shall not be altered in any way from the conditions specified in the development plan for the subdivision and in the approved building plans for the lot.

All trash generated on the lot shall be hauled away from the subdivision on a regular (not less than weekly) basis and the construction site shall be kept neat and orderly at all times.

Construction on the lot shall be undertaken in such a manner as to preclude debris entering or blocking the storm sewer inlets.

Water service cuts shall not undermine the curbs or alter the sub-surface drainage system. Any excavated area which adjoins the curb will be backfilled with #53 stone to within 10 inches of the top curb.

The lot shall be seeded and/or sodded immediately following the final grading of the lot in order to avoid erosion on the lot. After rough grading and before final grading, straw bale dams and/or silt fence will be used to control erosion as needed.

Vehicles shall not be driven across other lots; trash shall not be deposited on adjoining lots. Mud tracked onto the streets shall be scraped off in a timely manner. Whenever possible, vehicles should be parked on one side of the street to insure that traffic can flow through the area smoothly.

### ARCHITECTURAL REVIEW BOARD:

The Architectural Review Board serves to protect the value of all homes by providing uncompromising standards and requirements. Any and all improvements made to a homesite (including fencing, pools, swing sets, decks, satellite dishes, etc.) must receive prior approval by the Architectural Review Board (see Declaration of Covenants and Restrictions p.15).

Absolutely no mini barns, chain link or stockade fencing will be approved.

For approval please include:

- plot plan
- dimensions and placement of structure
- photograph or brochure picture
- color

Plans should be submitted to Brenwick Development Company, Inc. at the corporate offices at 12722 Hamilton Crossing Boulevard, Carmel, Indiana 46032, attention: Margie Wheeler.

### YARD LIGHTS AND MAILBOXES:

As per the Declaration, each lot owner is responsible for the installation of a standardized yard light equipped with a photo electric cell for automatic dusk-to-dawn illumination. At the present time, the Architectural Review Board has chosen Sea Gull Lighting yard light Model #8277-02 and yard light post Model #8112-12 for the Brookfield standardized yard light.

Also per the Declaration, all mailboxes installed upon the lot shall be uniform of size, type and color as approved by the Architectural Review Board.

### OTHER CONCERNS:

Any other concerns regarding the Architectural Review Board should be directed to Margie Wheeler of Brenwick Development Company, Inc. at (317)574-3400 (fax 574-3919).